



DOWNTOWN WACO MASTER REDEVELOPMENT
DOWNTOWN FORM-BASED CODE

Kickoff August 2024



AGENDA

- **Introductions**
- **Why a new Downtown form-based code for Waco?**
- **How will the new ordinance be drafted?**
- **What are some key project issues?**
- **Questions and discussion**



PROJECT LEADERSHIP

City of Waco

Tom Balk, Director of Strategic Initiatives

Hunt Companies

Rodney Moss

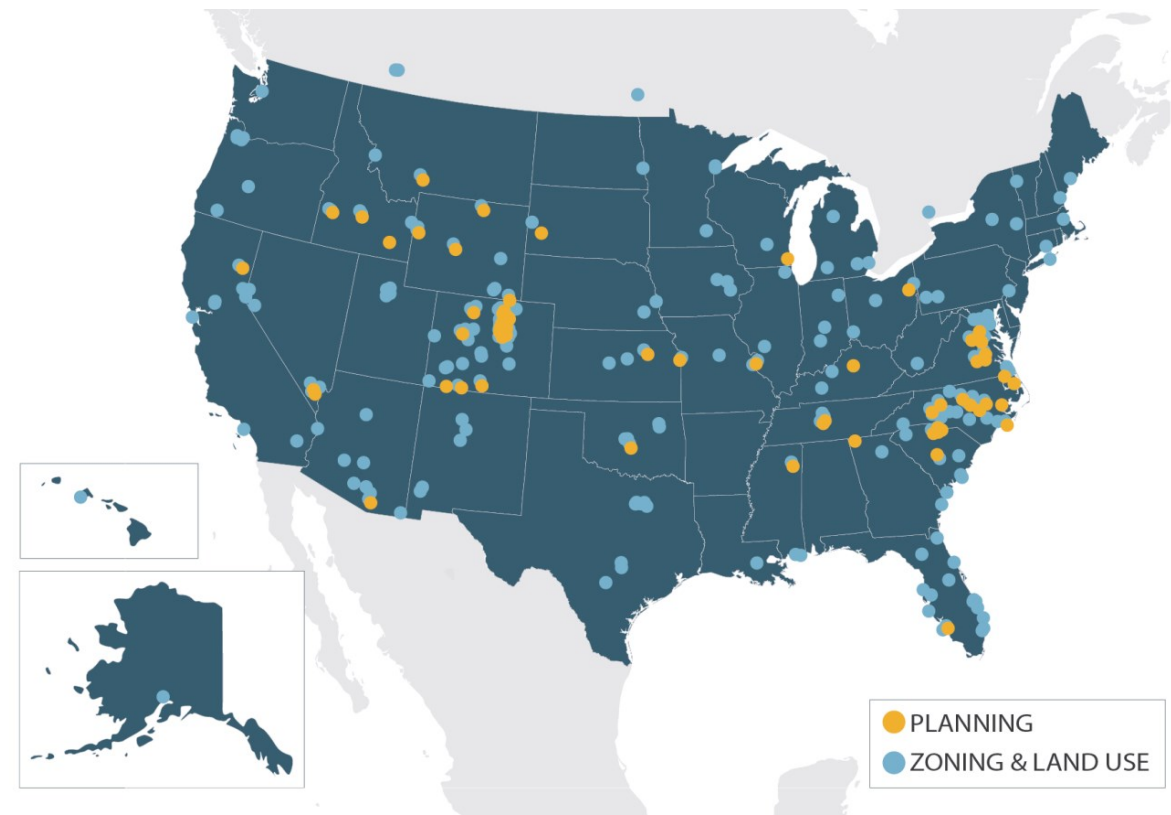
Clarion Associates

Matt Goebel, AICP

FORM-BASED CODE TEAM

CLARION ASSOCIATES

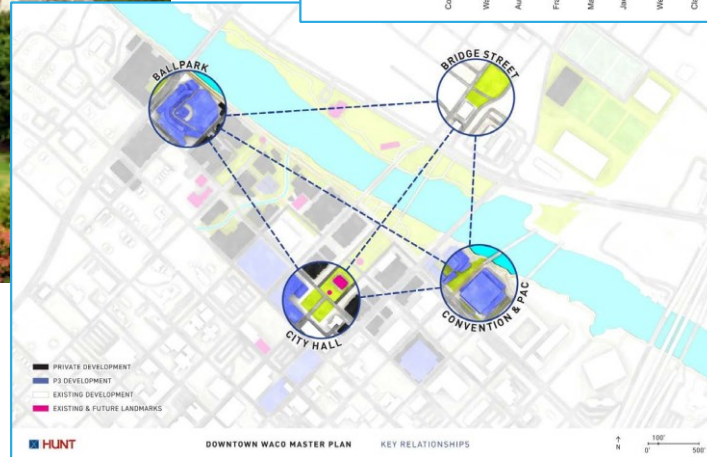
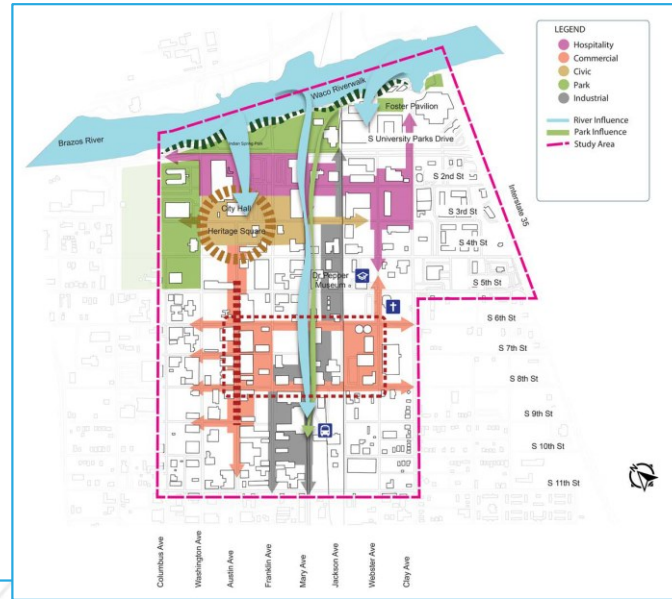
- **National consulting practice with 25+ years experience**
- **Multi-disciplinary: Planners, attorneys, designers, and landscape architects**
- **Offices in Denver and Chapel Hill**
- **Focus on plan implementation and user-friendliness**
- **Innovative codes integrating traditional and form-based approaches**
- **Sample Texas experience: Arlington, Austin, Addison, Denton, El Paso, McKinney, New Braunfels, Pflugerville, Rowlett, San Antonio, Sugar Land**



An aerial photograph of a city downtown, likely San Francisco, showing a mix of modern and older buildings. In the foreground, there is a large, green park area with many trees and a paved walkway. To the right, there is an outdoor seating area with orange umbrellas. The background shows a dense urban landscape with various skyscrapers and buildings under a blue sky with light clouds. The text "WHY A NEW DOWNTOWN FORM-BASED CODE?" is overlaid in large white letters on the left side of the image.

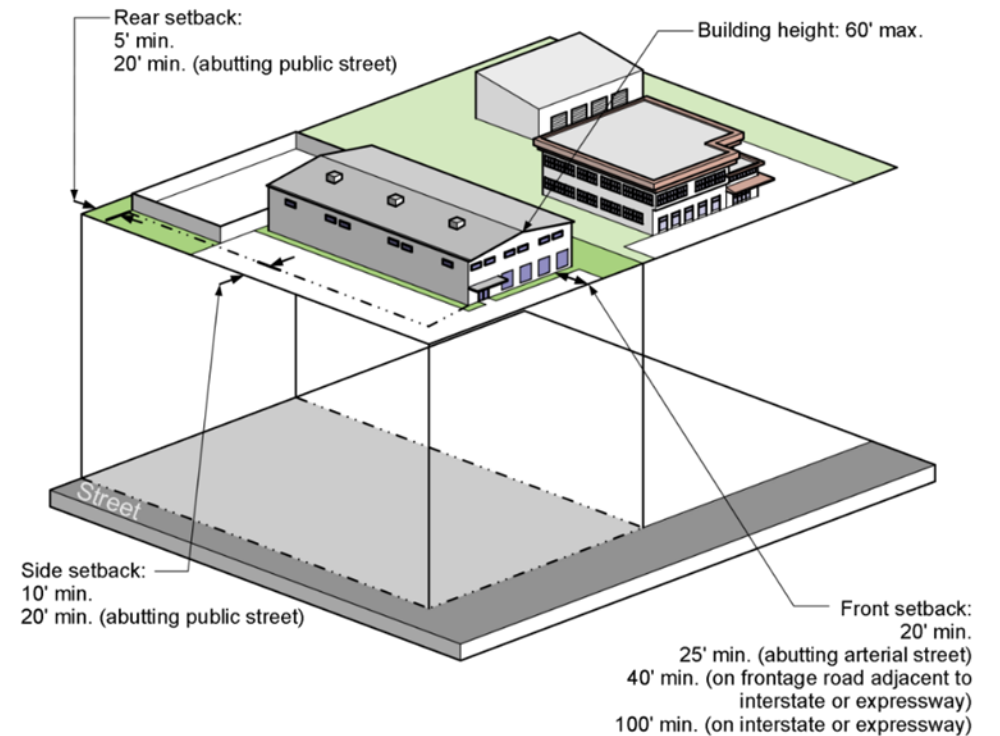
WHY A NEW DOWNTOWN FORM-BASED CODE?

A NEW CODE THAT'S UNIQUELY WACO



WHY UPDATE THE DOWNTOWN ZONING?

- **Clarify rules for how development should occur in Downtown Waco**
- **Help make growth more predictable for current residents and developers**
- **Make the code easier to understand and easier to use**
- **Implement the Downtown Waco Strategic Roadmap and other Waco plans**



IMPLEMENT THE PLAN



DOWNTOWN WACO MASTER DEVELOPMENT STRATEGIC ROADMAP

JUNE 18, 2024 • CITY COUNCIL PRESENTATION

A GRAVITATIONAL CENTER



5 DEFINING DISTRICTS

Barron's Branch

ST FRANCIS ON THE BRAZOS
La Pila Fountain
St. Francis Plaza
St. Francis Church

CALLE ORO PLAZA
Public Plaza
Shade Pavilion

BARRON'S BRANCH CREEK
Creek restoration
"Crescent Trail"

WEST MIXED-USE DEVELOPMENT
Restaurants & Bars
Retail
Commercial Office
Structured Garage

CENTRAL MIXED-USE DEVELOPMENT
Restaurants & Bars
Retail
Commercial Office

MUTUALISTA HALL & DANCE PLATFORM

SOUTH MIXED-USE DEVELOPMENT
Restaurants & Bars
Retail
Residential
Structured Garage

CALLE DOS

PEARL PARK San Antonio, TX

KYLDE WARREN PAVILION Dallas, TX

WATERLOO GREENWAY Austin, TX

LA PILA FOUNTAIN

ST. FRANCIS ON THE BRAZOS

Master plan elements in italics represent new development

Waco Square

SOUTHLAKE TOWN SQUARE Dallas, TX

FREEDOM FOUNTAIN

HISTORIC CITY HALL

HISTORIC CITY HALL
Adaptive Retail
Museum

ST. MARY'S FOUNTAIN
Restaurants & Bars
Retail

HERITAGE SQUARE
Restaurants & Bars
Retail
Commercial Office
Residential

WEST MIXED-USE DEVELOPMENT
Affordable Housing
Retail
Structured Garage

NORTH MIXED-USE DEVELOPMENT
Restaurants & Bars
Retail
Residential

BRANDS PLAZA BRIDGE

FREEDOM FOUNTAIN

HISTORIC CITY HALL

ST. MARY'S FOUNTAIN

HERITAGE SQUARE

WEST MIXED-USE DEVELOPMENT

CITY HALL PARK

BRIDGE ST. PLAZA

WACO SUSPENSION BRIDGE

BRIDGE STREET PLAZA

GEORGETOWN SQUARE Georgetown, TX

Master plan elements in italics represent new development

Ballpark

BALLPARK CREEK
Event Lawn
Restaurants & Bars
Retail
Residential
Structured Garage

MINOR LEAGUE BASEBALL STADIUM
4,000 Seats
Historic Waco Teams
The Waco Pirates
Navigators
Tabornians
The Yellow Jackets
Cardinals
Historic Waco Players
Crash Holloway
Andrew Lewis
Copper
Andrew Rube
Foster

OUTFIELD DEVELOPMENT
Event Lawn
Restaurants & Bars
Retail
Ballpark Hotel
Premier Restaurant
Revenue Office

INFIELD DEVELOPMENT
Restaurants & Bars
Hotel
Commercial Office
Residential
Structured Garage

ONEK FIELD Tulsa, OK

PEARL PARKITO San Antonio, TX

TEXAS 11971 Arlington, TX

VIEW RESIDENCES Tulsa, OK

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HUNT DOWNTOWN WACO MASTER PLAN BALLPARK DISTRICT

Riverfront

VIETNAM VETERANS MEMORIAL

BRANDING THE BRAZOS SCULPTURE

INDIAN SPRING PARK

STEAM CENTER

BORIS MILLER MEMORIAL

WASHINGTON TRUSS BRIDGE

M.L.K., JR. PARK

WASHINGTON TRUSS BRIDGE

M.L.K., JR. PARK

VIETNAM VETERANS MEMORIAL

PEACE OFFICER MEMORIAL

BRANDING THE BRAZOS SCULPTURE

INDIAN SPRING PARK

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HUNT DOWNTOWN WACO MASTER PLAN BRAZOS RIVERFRONT DISTRICT

Mary Ave

SPOKANE CC Spokane, WA

WINSPEAR PLAZA Dallas, TX

COTTON BELT BRIDGE

AUSTIN CITY LIMITS Austin, TX

WACO PERFORMING ARTS CENTER

CONVENTION CENTER HOTEL

COTTON BELT BRIDGE PARK

COTTON BELT PEDESTRIAN BRIDGE
Restored as pedestrian bridge

FESTIVAL PLAZA

WACO CONVENTION CENTER

MARY AVE FESTIVAL STREET

TWIN CENTER San Antonio, TX

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HUNT DOWNTOWN WACO MASTER PLAN MARY AVE DISTRICT

BARRON'S BRANCH DISTRICT

ST. FRANCIS ON THE BRAZOS

*La Pila Fountain⁴
St. Francis Plaza
St. Francis Church⁵*

CALLE DOS PLAZA

*Public Plaza¹
Shade Pavilion²*

BARRON'S BRANCH CREEK

*Creek restoration³
Creekside trails³*

WEST MIXED-USE DEVELOPMENT

*Restaurants & Bars
Retail
Commercial Office
Structured Garage*

CENTRAL MIXED-USE DEVELOPMENT

*Restaurants & Bars
Retail
Commercial Office*

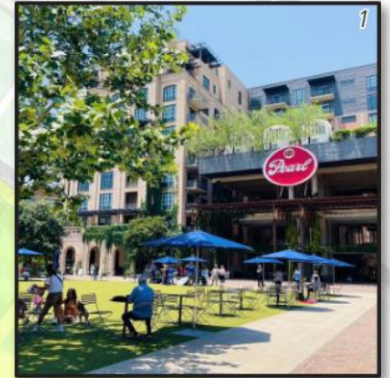
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BARRON'S BRANCH



PEARL PARK San Antonio, TX



KYLDE WARREN PAVILION Dallas, TX



WATERLOO GREENWAY Austin, TX



LA PILA FOUNTAIN



ST. FRANCIS ON THE BRAZOS

Master plan elements in italics represent new development

WHAT'S A FORM-BASED ORDINANCE?

Typical Elements:

- Building Form Standards
- Building Type Standards
- Frontage Type Standards
- Public Space Standards
- Block and Subdivision Standards
- Regulating Plan



6.2 LIVE/WORK BUILDING: GROUP A FRONTAGE TYPES

Allowed Group A Frontage Types

Building Setbacks

Dimension	Setback	T6	T5	T4	T3	CS	
A	Front Setback	0' max.		0' max.		N/A	
B	Side Setback	Street-Facing		0' max.	10' max.		5' min.
		Non Street-Facing		0' max.	10' max.		5' min.
C	Rear Setback	Corner Lots	with Rear Alley		5' max. or 16' min.		
		Interior Lots	without Rear Alley		10' max.		
			with Rear Alley		5' max. or 16' min.		
		without Rear Alley		5' min.			
D	Gallery or Arcade Setback	3' max. from curb to column/cover					

Applicable Notes:
 1: At least 80% of the building facade shall be located at the front setback line.
 2: For buildings located on corner lots, at least the first 30' of the building facade, as measured from the front building corner, shall be located at the setback line.

Building Height

Dimension		T6	T5	T4	T3	CS
D	Minimum Building Height (stories)	2	2	1	1	N/A
	Maximum Building Height (stories)	10	4	3	2 1/2	

180° URBAN DESIGN ARCHITECTURE MESQUITE, TEXAS August 3, 2009 43

USER-FRIENDLY

2.10. RM-3: High-Density Multifamily³⁸

A. Purpose

The RM-3 district is intended to accommodate high-density multifamily residential uses, with limited single-family uses and duplexes. The RM-3 district may include limited community and educational uses and incidental or accessory uses. This district can also serve as a transition between other multifamily and commercial or mixed-use zoning districts.

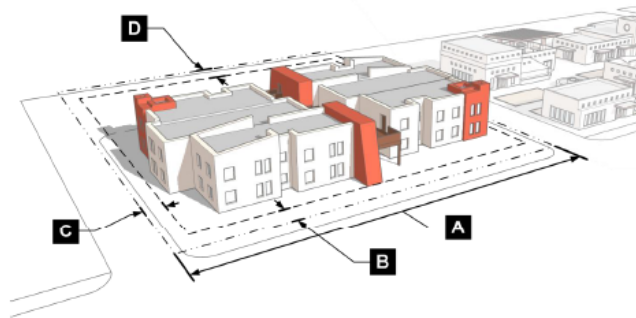
B. RM-3 Lot and Building Standards

Lot Standards	
A Width (minimum)	100 feet
Area (minimum)	8,000 sq. ft.[1] ³⁹
Density (maximum)	20 du/acre
Setbacks (minimum)	
B Front	10 feet [2] ⁴⁰
C Side [3]	8 feet [4]
D Rear	20 feet [5]
Height	
Building height	See 2.23.D
Impervious Coverage (maximum)	
Building coverage	40 percent [6] ⁴¹
Total coverage	70 percent

C. Other Standards

Other Standards	Location in LDC
Measurements and Exceptions	Section 2.23
Use-Specific Standards	Section 3.3
Off-Street Parking	Section 5.5
Landscaping, Buffering	Section 5.6
Site and Building Design	Section 5.7

Notes:
 [1] Currently 21,780 sq. ft. (1/2 acre)
 [2] Currently 20 feet
 [3] Did not carry forward the side setback abutting a street, which is currently 15 feet.
 [4] Currently 10 feet
 [5] Currently 25 feet
 [6] Currently 25 percent



³⁸ This district is carried forward from the current RM-3 district.
³⁹ The current lot size requirement can act as a barrier to achieving higher densities than the lower intensity districts RM-1 and RM-2.
⁴⁰ A shallower setback will encourage more walkable and dense development in key areas throughout the city.
⁴¹ Revised to match the proposed limits in the RM-1 and RM-2 districts.

Article 8: Administration and Procedures

8.2 Summary Table of Review Procedures | 7.4.G. Required Improvements for Subdivisions604F

Table 8.1
Summary of Development Review Procedures

KEY: R= Review and Recommendation D= Review and Decision A= Appeal ✓ = Required <> =Public Hearing Required

Procedure	Code Reference	Notice		Pre-Application Conference	Review and Decision-Making Bodies					
		Published	Written Posted		Staff	Historic Prsvtn Comm.	Planning & Zoning Comm.	City Council	Board of Adjustment	
Development Permits										
Development Review	Minor	8.4			✓	D [1]			< A >	
	Major	8.4	✓	✓	✓	R	< R > [3]	< D >	< A >	
Conditional Use Permit	8.4.B	✓	✓	✓		R	< R > [3]	< D >	< A >	
Single-Family Residential Review	8.4.C					D				< A >
Temporary Use Permit	8.4.D				✓ [2]	D				< A >
Subdivision Procedures										
Preliminary Plat	8.5.A	✓	✓	✓		R			< R >	< D >
Final Plat	8.5.B					R				< D >
Land Division or Combination	8.5.C					D				< A >
Reversion to Acreage	8.5.E	✓	✓	✓		R			< R >	< D >
Ordinance Amendments										
Rezoning	8.6.A	✓	✓	✓		R	< R > [3]	< R >	< D >	
Rezoning to Planned Development (PD)	8.6.B	✓	✓	✓		R			< R >	< D >
Code Amendment (Text)	8.6.C	✓	✓	✓		R			< R >	< D >
Historic Preservation Procedures										
Historic Landmark Designation	8.7.A	✓	✓	✓		R			< D >	< A >
Historic District Designation	8.7.C	✓	✓	✓		R	< R >	< R >	< D >	< D >
Certificate of Appropriateness	8.7.D	✓	✓	✓		R	< D >			< A >
Certificate of No Effect	8.7.D					D [5]				
Flexibility and Relief										
Variance	8.8.A	✓	✓	✓		R				< D >
Minor Modification	0						As required for associated application			
Appeal	8.8.C	✓	✓	✓			As indicated in table above			
Special Exception	8.8.D	✓	✓	✓		R				< D >

Notes:
 [1] The Director may refer minor development review applications to the Planning and Zoning Commission.
 [2] A pre-application conference is required for some types of temporary use permit applications; see 8.4.D.
 [3] Applies only in historic districts or for designated historic properties.
 [4] Pre-application meetings are required only for text amendments proposed by an applicant, not staff.
 [5] HPC Chair (or designee) and Staff make the determination regarding a Certificate of No Effect.

Article 8: Administration and Procedures

8.4 Development Permits | 8.4.B. Conditional Use Permit

B. Conditional Use Permit

Commentary

This section is based generally on the existing Section 402, but the current language has been rewritten to refer to the new common procedures and remove unnecessary material that is now covered in the common procedures.

(1) Purpose⁶⁵⁹

The conditional use permit procedure provides a mechanism for the City to evaluate proposed land uses that are generally characterized by infrequency of use, high degree of traffic generation, and/or requirement of a large land area.⁶⁶⁰ This procedure is intended to ensure compatibility of such uses with surrounding areas and that adequate mitigation is provided for anticipated impacts.

(2) Applicability

A conditional use permit is required for the establishment of certain land uses as specified in Table 3.1 *Table of Allowed Uses*. Approval of a new conditional use permit is also required for modification or expansion of an existing conditional use.

(3) Application Submittal and Review Procedure

Figure 8-4 identifies the applicable steps from 8.3, *Common Review Procedures*, that apply to the review of conditional use permits. Additions or modifications to the common review procedures are noted below.

Figure 8-4: Conditional Use Permit



a. Pre-Application Meeting

A pre-application meeting shall be held in accordance with 8.3.B, *Pre-Application Meeting*.

b. Application Submittal and Handling⁶⁶¹

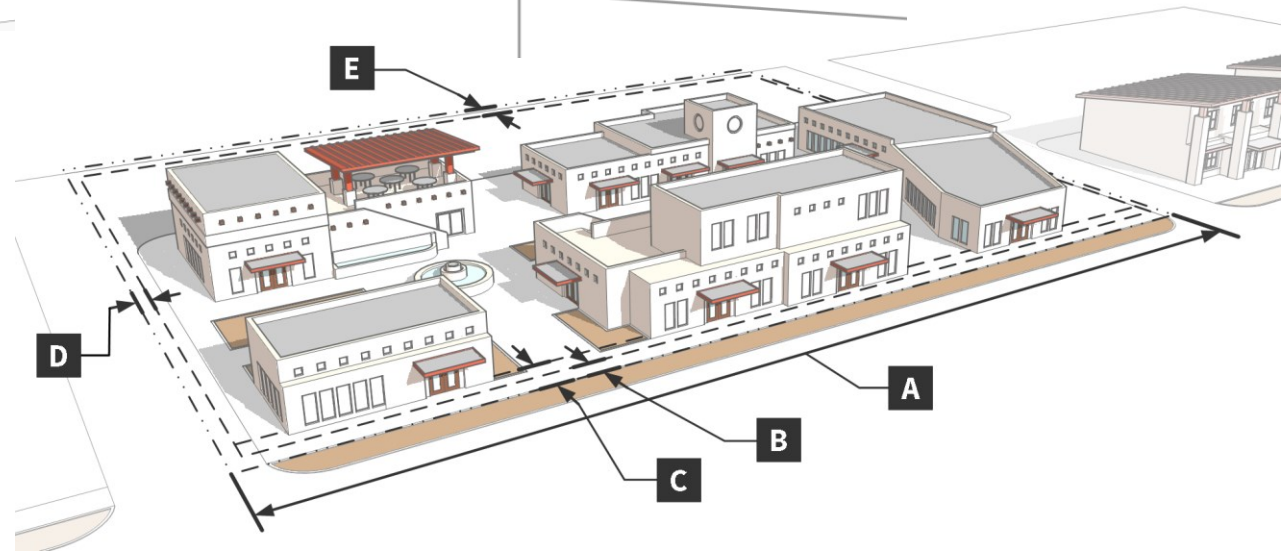
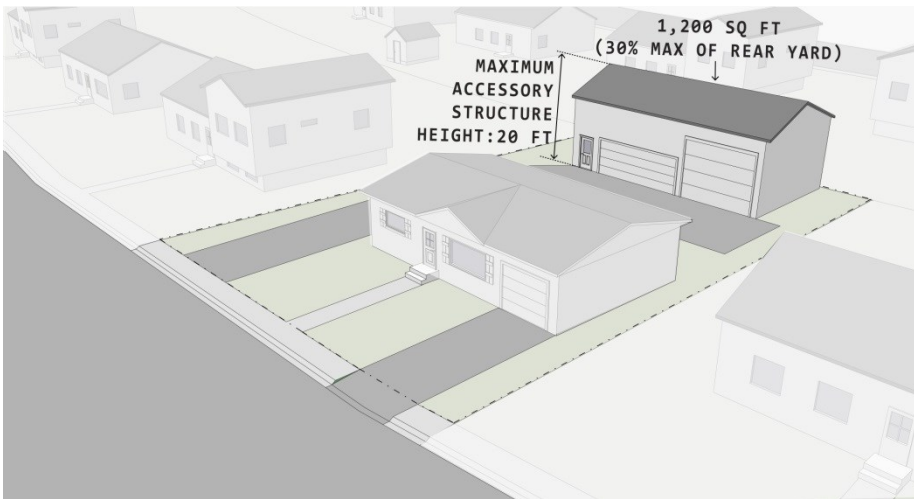
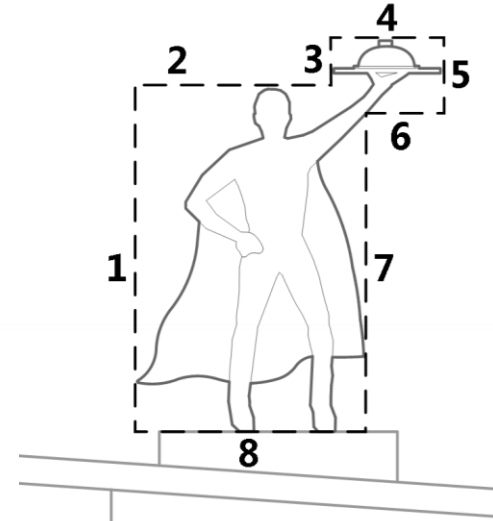
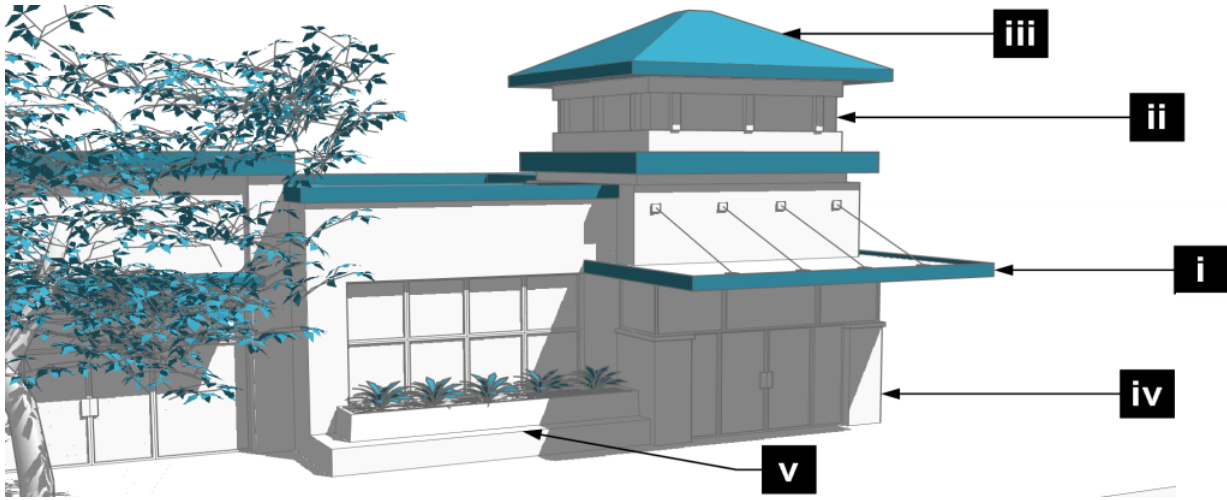
The conditional use permit application shall be submitted, accepted, and revised, and may be withdrawn, in accordance with 8.3.C, *Application Submittal and Handling*.

⁶⁵⁹ New purpose statement.

⁶⁶⁰ This language is from ARS 9-462.01.C.1.

⁶⁶¹ Submittals removed to bin file for Administrative Manual.

ILLUSTRATIONS



An aerial photograph of a park featuring a prominent stone staircase that descends from a paved plaza to a river. The plaza has several arched openings and is surrounded by lush green trees and walking paths. People are seen walking on the paths and stairs, and a few are kayaking in the river. The overall scene is vibrant and active.

**HOW WILL THE NEW DOWNTOWN CODE
BE DRAFTED?**

PROJECT SCOPE & TIMELINE



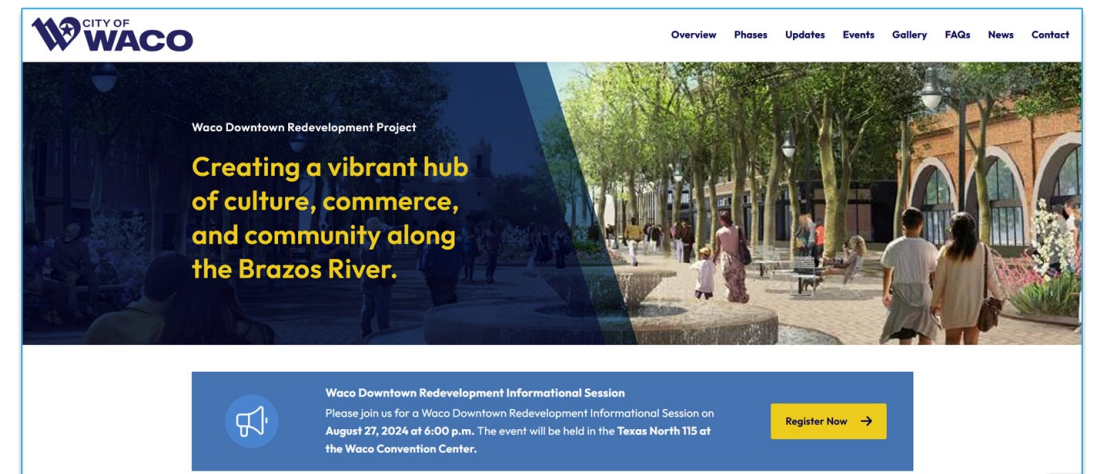


KEY STAKEHOLDER GROUPS

- **Members of the community**
- **City staff**
- **Citizens Advisory Committee**
- **City Council**
- **Plan Commission**
- **Historic Landmark Preservation Commission**
- **Development/business community**
- **City Center Waco and Downtown Coalition**

OPPORTUNITIES FOR INPUT

- **Engage at project milestones:**
 - **Project kickoff**
 - **Assessment and annotated outline**
 - **Public draft for each phase**
 - **Consolidated and Adoption drafts**
- **Offer multiple methods of participation**
 - **In-person interviews and presentations**
 - **Virtual meetings, surveys**
 - **Social media and website**



ROLE OF ADVISORY COMMITTEE

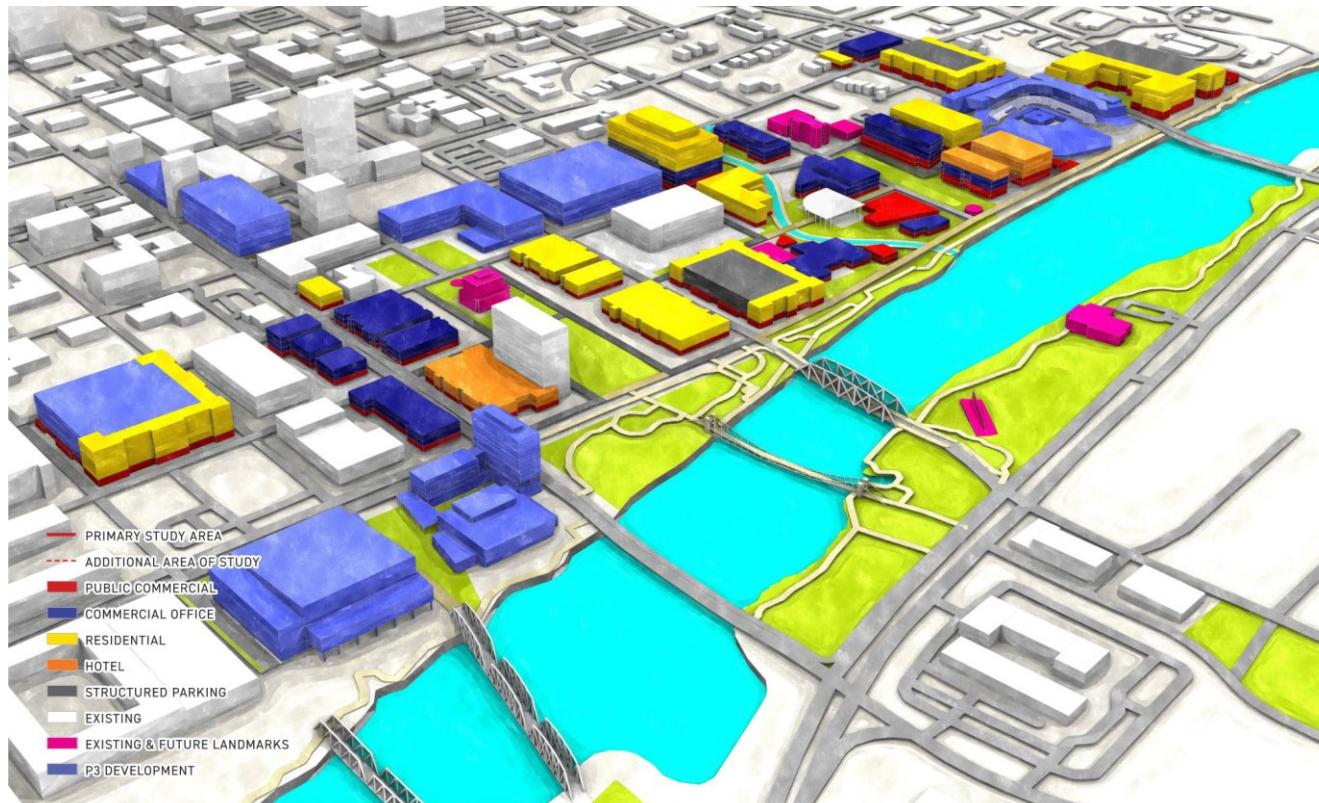
- **Assist in analysis of existing code—especially successes and challenges**
- **Attend meetings to provide recommendations and feedback**
- **Review and comment on incremental drafts of new regulations**
- **Attend and participate in public meetings**
- **Provide continual outreach to and feedback from colleagues and respective industries**



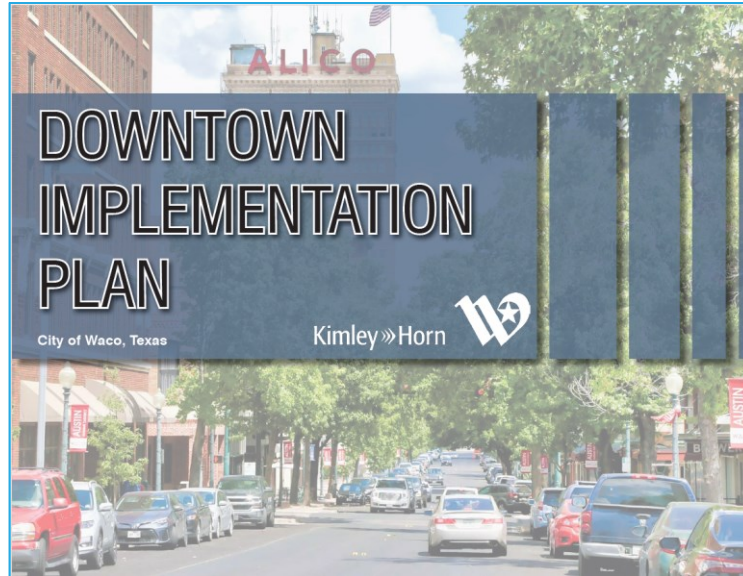
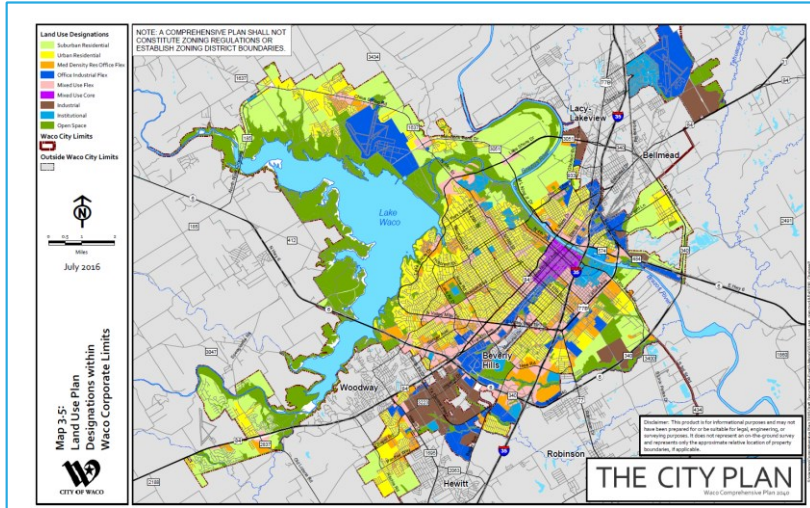
KEY ZONING ISSUES

ZONING & FUTURE LAND USE

Draft zoning districts to implement the Strategic Roadmap districts



OTHER WACO PLANS



USE REGULATIONS

DIVISION 18. - C-4 CENTRAL COMMERCIAL DISTRICT

Sec. 28-671. - Purpose.

The C-4 central commercial district is intended to provide for a wide variety of business, residential and city region. The district regulations are designed to encourage a mix of functions, including retail, service and vitality in the central area as a focus for the community, while recognizing the specific intense urban character of the district.

(Ord. No. 1986-49, § 1(4.1801), 9-16-86)

Sec. 28-672. - Permitted uses.

modified

Permitted uses in the C-4 district are:

- (1) Townhouse dwellings.
- (2) Multiple-family dwellings.
- (3) Clinics and lab services, but not including veterinary clinics.
- (4) Financial institutions.
- (5) Clubs, lodges, fraternities and sororities where the chief activity is not a business.
- (6) Commercial and vocational schools.
- (7) Convalescent or rest homes.
- (8) Dressmaking, millinery, tailor shops, shoe repair shops and similar shops.
- (9) Child care facilities.
- (10) Office buildings.
- (11) Personal service shops.

Waco

Arlington

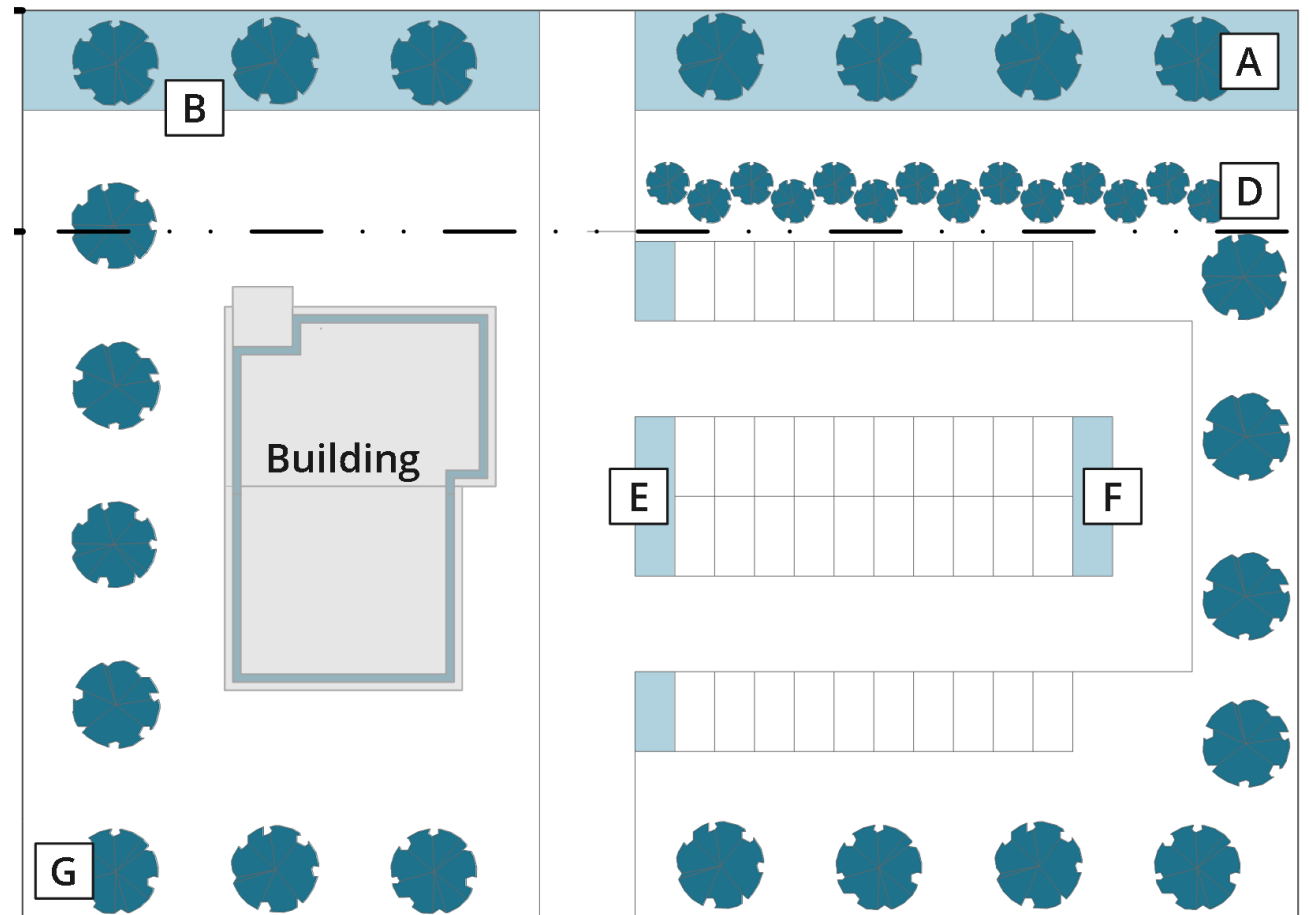
B. Non-Residential and Mixed-Use Districts

TABLE 3.1-2: Allowed Uses – Non-residential and Mixed-Use Districts		Non-residential and Mixed-Use												
P = Permitted Use S = Specific Use Permit * = Supplemental Use Standards Apply		L	O	N	C	G	H	D	B	L	I	N	R	Supplemental Use Standards
Use Category	Use Type	O	C	C	C	C	C	B	P	I	M	M	M	U
RESIDENTIAL USES														
Household Living	Dwelling, duplex													
	Dwelling, live/work		P*					P*				P*	P*	3.2.1.A
	Dwelling, multi-family							S*				P*	P*	3.2.1.A
	Dwelling, single-family detached													
	Dwelling, townhouse HUD-code manufactured home Mobile home							S				P	P	
Group Living	Assisted living facility (≤6 residents)							S						
	Assisted living facility (≥7 residents)							S						
	Boarding house fraternity or sorority house private dorm							P*						3.2.1.B
	Community home for disabled persons													
	Foster family home													
	Foster group home													
	Halfway house					S					S	S		
Independent senior living facility								P*				P*	P*	3.2.1.B
Nursing home					P	P								
PUBLIC AND INSTITUTIONAL USES														
Community and Cultural Facilities	Art gallery or museum	P	P	P	P	P	P	P	P	P	P	P	P	P
	Correctional facility											S		
	Domestic violence shelter		P	P	P						P	P		
	Emergency shelter					P					P	P		
	Government administration and civic buildings	P	P	P	P	P	P	P	P	P	P	P	P	P
	Mortuary crematory funeral chapel				P	P		P			P	P		
	Philanthropic institution (other than listed)	P	P	P	P	P	P	P	P	P	P	P	P	P
	Religious assembly	P	P	P	P	P	P	P	P	P	P	P	P	P
Educational Facilities	Business school		P	P	P	P	P	P	P	P	P	P	P	P
	Public or private school		P	P	P	P	P	P	P	S	S	P	P	

DEVELOPMENT STANDARDS

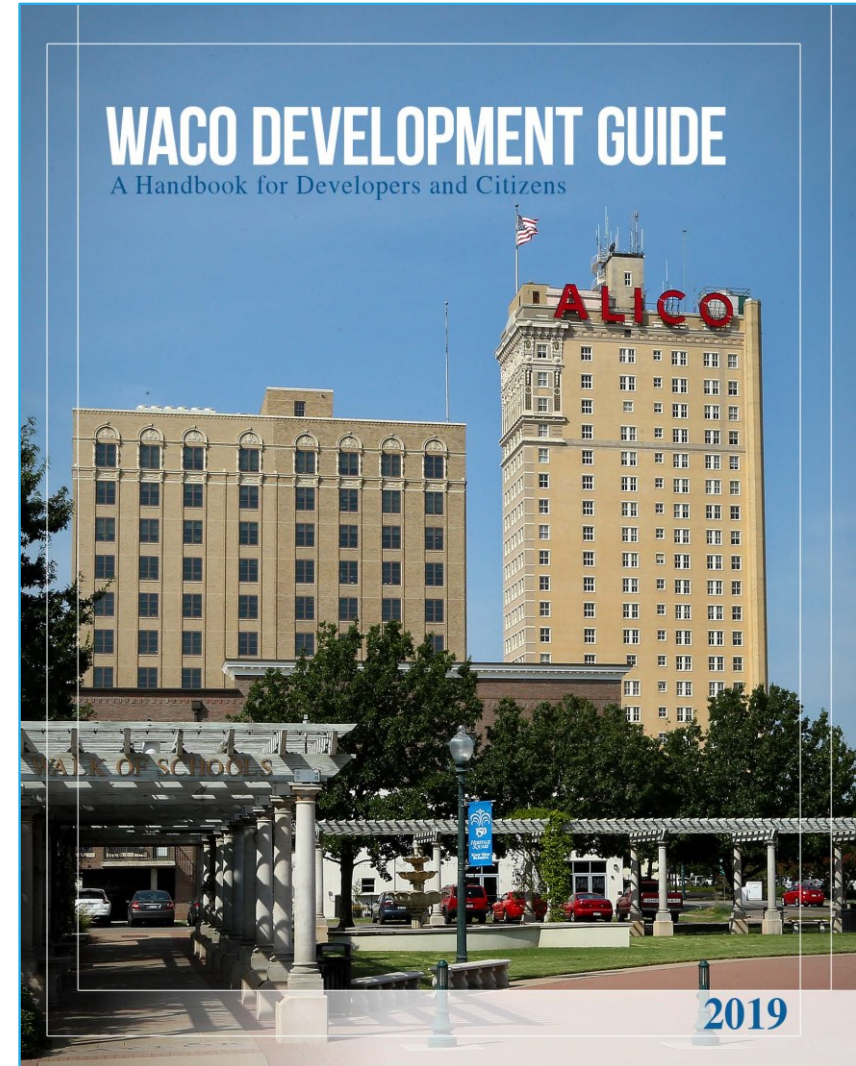
Address the *quality of development*, including standards for:

- Access and connectivity
- Landscaping and fences
- Tree preservation
- Building and site design
- Historic preservation
- Outdoor lighting
- Parking and loading
- Signage



EFFICIENT ADMINISTRATION

- **Ensure the new Downtown zoning ordinance is integrated with Waco's development review procedures to provide predictability and certainty**



EFFICIENT ADMINISTRATION

Article 8: Administration and Procedures

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Article 8: Administration and Procedures

8.3 Common Review Procedures | 8.3.A. General

8.3. Common Review Procedures

Commentary

Common review procedures are new to Sedona. Although the current development code has a good organizational framework for procedures, a lot of the information is repeated for each application procedure. Per the Analysis report, these common review procedures consolidate general steps that are applicable to multiple development application types. The application-specific procedures then refer back to these common review procedures and note any modifications or additions.

A. General

This section describes the standard procedures and rules applicable to all development applications unless otherwise stated in this Code. Common review procedures include seven steps, as shown below in Figure 8-1: *Common Review Procedures*, not all of which are applicable to every development application. Application-specific procedures in sections 8.4 through 8.8 identify additional procedures and rules beyond those in this section.

Figure 8-1: Common Review Procedures



B. Pre-Application Meeting⁶¹⁰

(1) Purpose

The pre-application meeting is intended to provide an opportunity for the applicant to meet with City staff to review applicable submittal requirements and review procedures associated with the proposed development concept.

(2) When Required

A pre-application meeting is required according to Table 8.1, *Summary Table of Review Procedures*.

⁶¹⁰ New. This common procedure for pre-application conferences replaces and consolidates those currently found in multiple individual procedures, including rezoning, conditional use, development review, and others. The name is changed from the current "pre-application consultation."

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QUESTIONS & DISCUSSION

- **Any other questions about the project scope or process?**